

Sterling Title
2115 Main
Kalispell MT



Debbie Pierson, Flathead County MT by SC

201700023438

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Fees: \$122.00

9/20/2017 11:35 AM

CR-17-045

3

First Amendment to
Declaration of Condominium Under the Unit Ownership Act and
Covenants, Conditions and Restrictions for
The Meadows at Four Mile Condominium II

This Amended Declaration is made and entered into this 19 day of September 2017 by
Meadows West Properties, LP.

1. Whereas, the Declarant on May 24, 2017, signed a Declaration for The Meadows at Four Mile Condominium II, and said Declaration was recorded June 6, 2017 as Document No. 201700011434, records of Flathead County, Montana.
2. Whereas, Article IV of said Declaration states the description of the project, providing for annexable property.
3. Two new buildings are being added to the Declaration, known as building 7 and building 8. Each building will have 2 units. Named Unit A and Unit B in Building 7 of The Meadows at Four Mile Condominium II and Unit A and Unit B in Building 8 of The Meadows at Four Mile Condominium II. The location and general dimensions of said condominium buildings are depicted on Exhibits attached hereto and by this reference incorporated herein. For identification and descriptive purposes, the following Exhibits are attached and incorporated by this reference, into the Declaration.

- Exhibit "A" - Legal description for Building 7
- Exhibit "A1" - Legal description for Building 8
- Exhibit "A2" - Left and Right Exterior Elevations
- Exhibit "A3" - Front and Rear Exterior Elevations
- Exhibit "A4" - Floor Plans of both units
- Exhibit "A5" - Unit A floor plan
- Exhibit "A6" - Unit B floor plan
- Exhibit "A7" - Building 7 Site Plan
- Exhibit "A8" - Building 8 Site Plan

4. The addresses for the Units will be: Building 7- 115 Meadow Vista Loop Unit A and 115 Meadow Vista Loop Unit B; Building 8- 125 Meadow Vista Loop Unit A and 125 Meadow Vista Loop Unit B.
5. The original Declaration shall remain in full force and effect. All terms and conditions of the original Declaration remain the same.
6. New units shall also be a part of and subject to the Bylaws of The Meadows at Four Mile Condominium II that were recorded with the Declaration, June 6, 2017 Document No. 201700011434, records of Flathead County, Montana.
7. Now therefore the Declaration is hereby amended and shall be binding upon all present owners and upon all parties having or acquiring any interest in the condos, and shall inure to the benefit of all owners, their successors and assigns.

Approved
9/20/17 ff
0014988 w/cra



IN WITNESS WHEREOF, the Declarant has caused this Amendment to the Declaration to be made and executed the 19 day of September, 2017.

Meadows West Properties, LP

Westcraft Homes, Inc., Manager
Marvin Galts, President



On this 19th day of September, 2017 before me, the undersigned, a Notary Public in and for said State, personally appeared Marvin Galts President of Westcraft Homes, Inc which is Manager of Meadows West Properties, LP, whose name is subscribed to the within instrument, and acknowledged to me that such entity executed the same.

In witness whereof, I have hereunto set my hand and affixed my official seal the day and year last above written.

Stephanie K Evans

Notary Public, State of Montana
Printed Name _____
Residing at _____
My commission expires _____

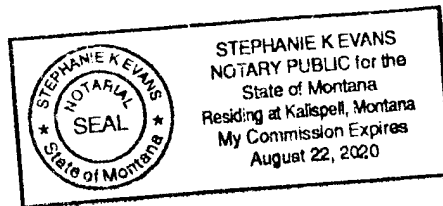




EXHIBIT "A"

A tract of land situated, lying and being in Government Lot 2 of Section 1, Township 28 North, Range 22 West, P.M.M., Flathead County, Montana, and more particularly described as follows to wit:

Commencing at the northeast corner of Lot 2 of the Plat of The Meadows at Four Mile (records of Flathead County, Montana) which is a found iron pin on the southerly R/W of Four Mile Drive; Thence along said R/W

S89°54'25"W 126.75 feet to a found iron pin on the easterly R/W of a 60 foot private road and utility easement known as Meadow Vista Loop; thence along said R/W

S00°00'15" E 210.27 feet to a found iron pin and THE TRUE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED: Thence leaving said R/W

S89°57'35" E 109.29 feet to a set iron pin; Thence

S02°52'16"W 109.19 feet to a set iron pin; Thence

N82°30'08"W 108.68 feet to a set iron pin on the easterly R/W of said Meadow Vista Loop, which is on a 460.00 foot radius curve, concave northwesterly (radial bearing N82°30'08"W); thence northerly along said R/W through a central angle of 07°30'07" an arc length of 60.23 feet; Thence continuing along said R/W

N00°00'15" W 34.89 feet to the point of beginning.

Tract 1 of Certificate of Survey No. 20653



EXHIBIT "A1"

A tract of land situated, lying and being in Government Lot 2 of Section 1, Township 28 North, Range 22 West, P.M.M., Flathead County, Montana, and more particularly described as follows to wit:

Commencing at the northeast corner of Lot 2 of the Plat of The Meadows at Four Mile (records of Flathead County, Montana) which is a found iron pin on the southerly R/W of Four Mile Drive; Thence along said R/W

S89°54'25" W 126.75 feet to a found iron pin on the easterly R/W of a 60 foot private road and utility easement known as Meadow Vista Loop; Thence along said R/W

S00°00'15"E 245.16 feet to a found iron pin and the P.C. of a 460.00 foot radius curve, concave northwesterly, having a central angle of 07°30'07"; Thence along an arc length of 60.23 feet to a found iron pin and THE TRUE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN

DESCRIBED: Thence leaving said R/W

S82°30'08" E 108.68 feet to a found iron pin; Thence

S13°25'03" W 105.57 feet to a set iron pin; Thence

N76°34'57"W 108.04 feet to a set iron pin on the easterly R/W of said Meadow Vista Loop, which is on a 460.00 foot radius curve, concave northwesterly (radial bearing N70°43'42" W); Thence northeasterly along said curve and along said R/W through a central angle of 11°46'27" an arc length of 94.53 feet to the point of beginning.

Tract 1 of Certificate of Survey No. 20654

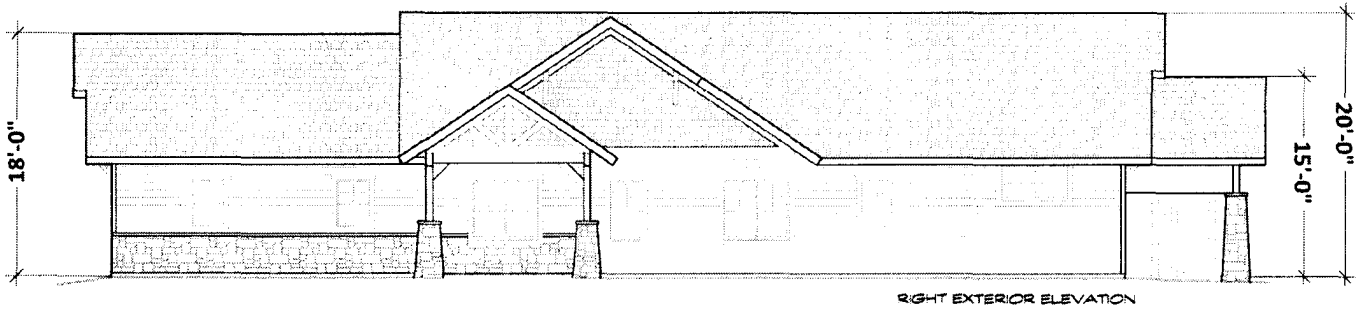
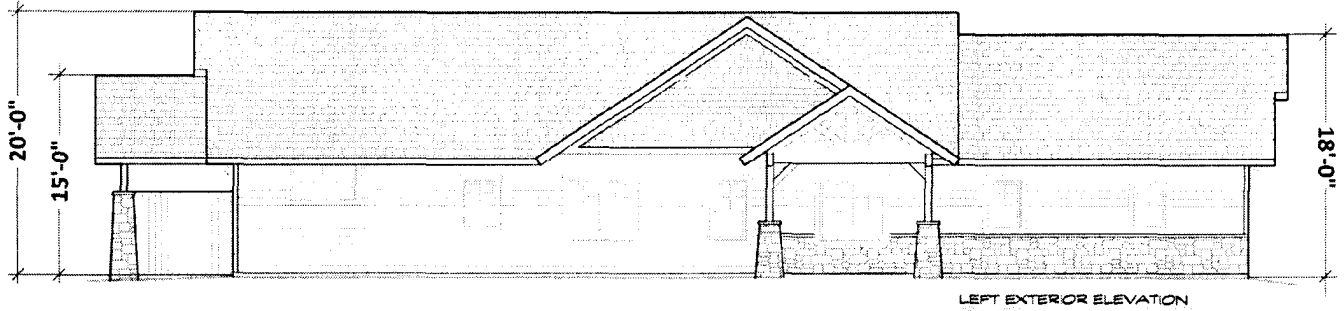
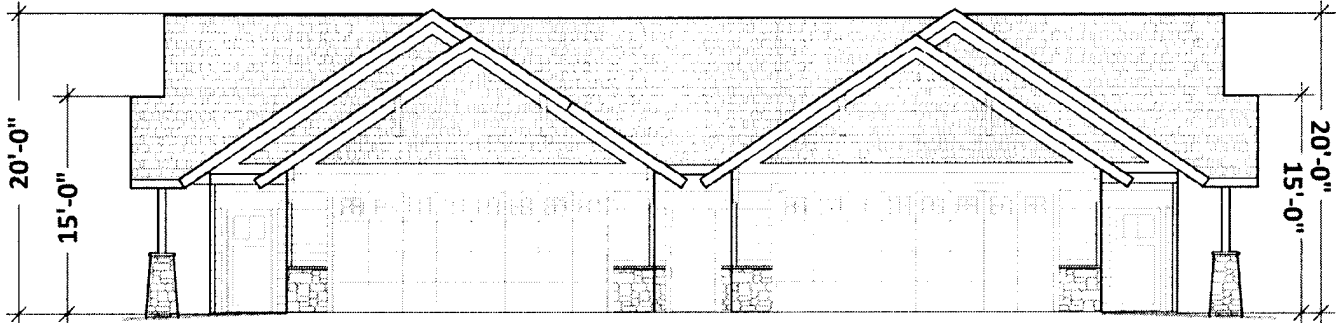
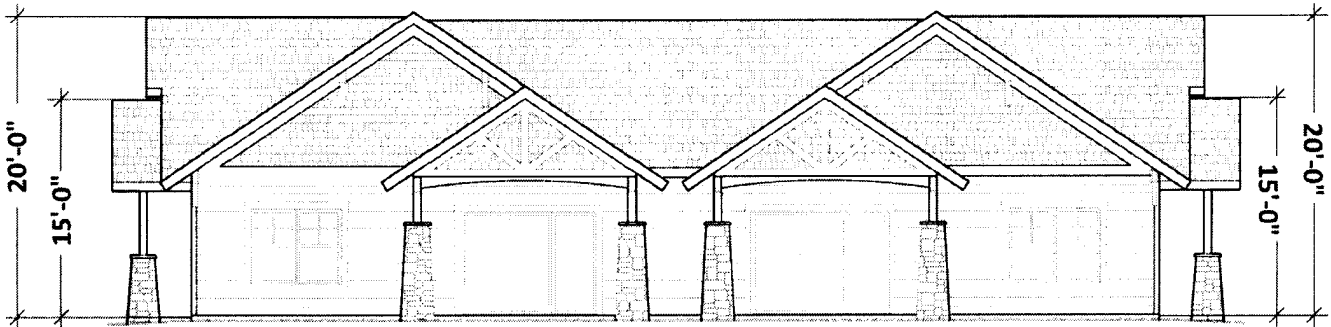


EXHIBIT "A2" LEFT AND RIGHT EXTERIOR ELEVATIONS



FRONT EXTERIOR ELEVATION



REAR EXTERIOR ELEVATION

EXHIBIT "A3" FRONT AND REAR EXTERIOR ELEVATIONS

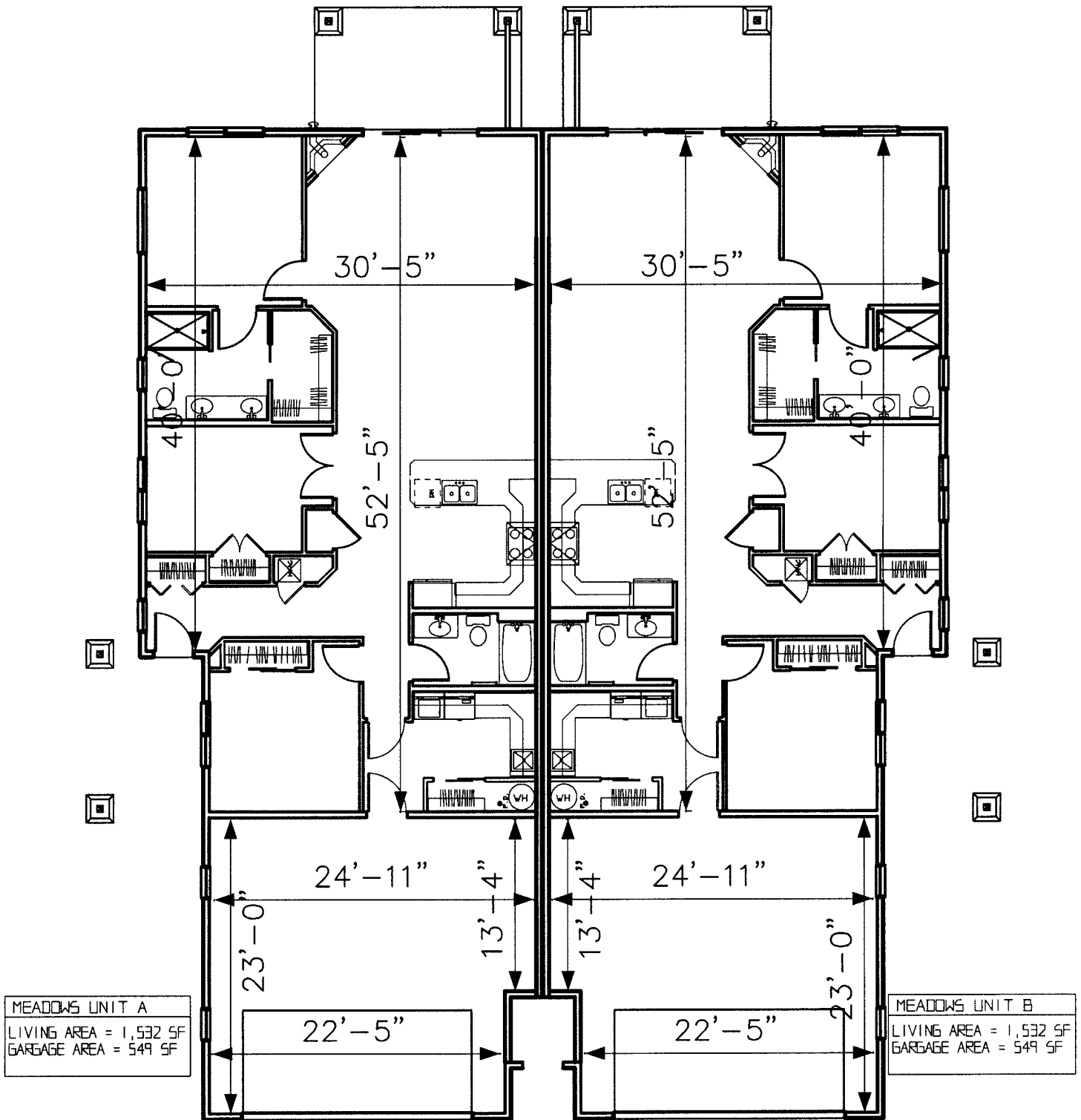
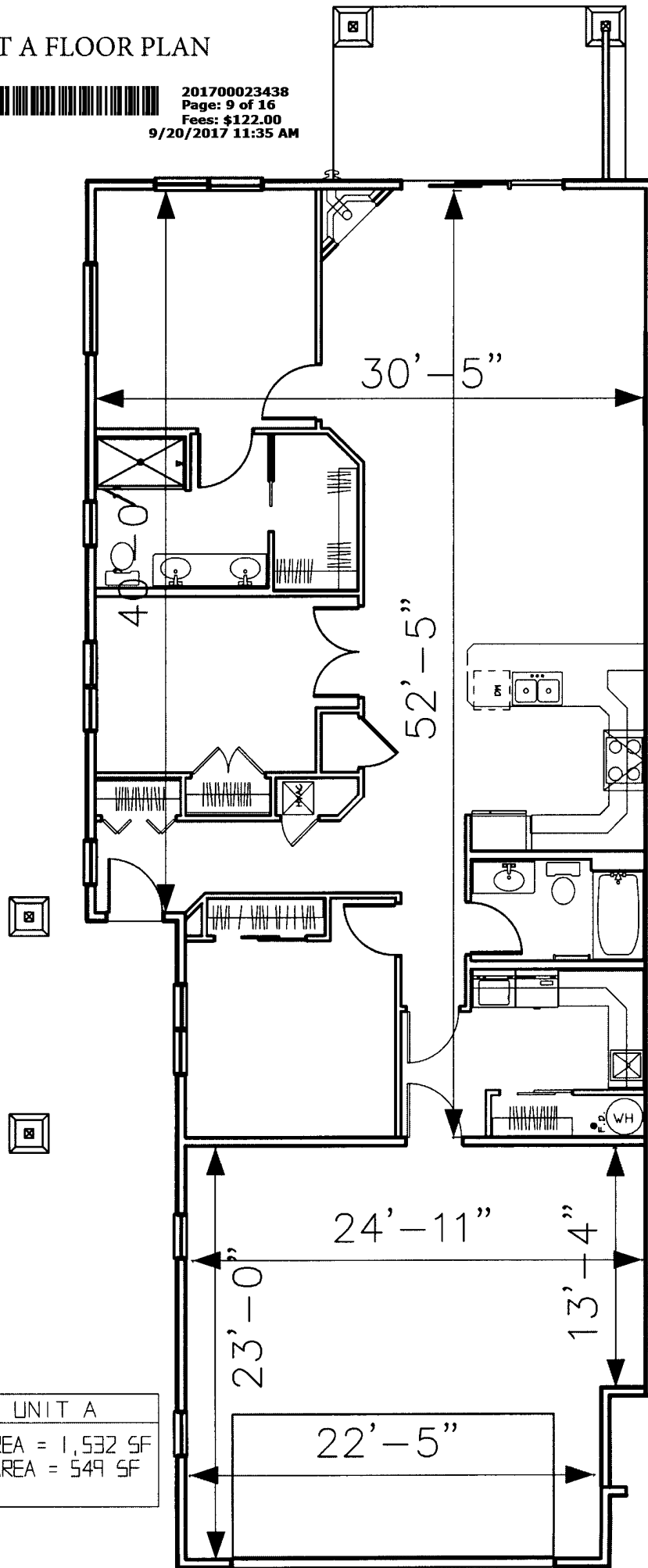


EXHIBIT "A4" FLOOR PLAN OF BOTH UNITS

EXHIBIT "A5" UNIT A FLOOR PLAN



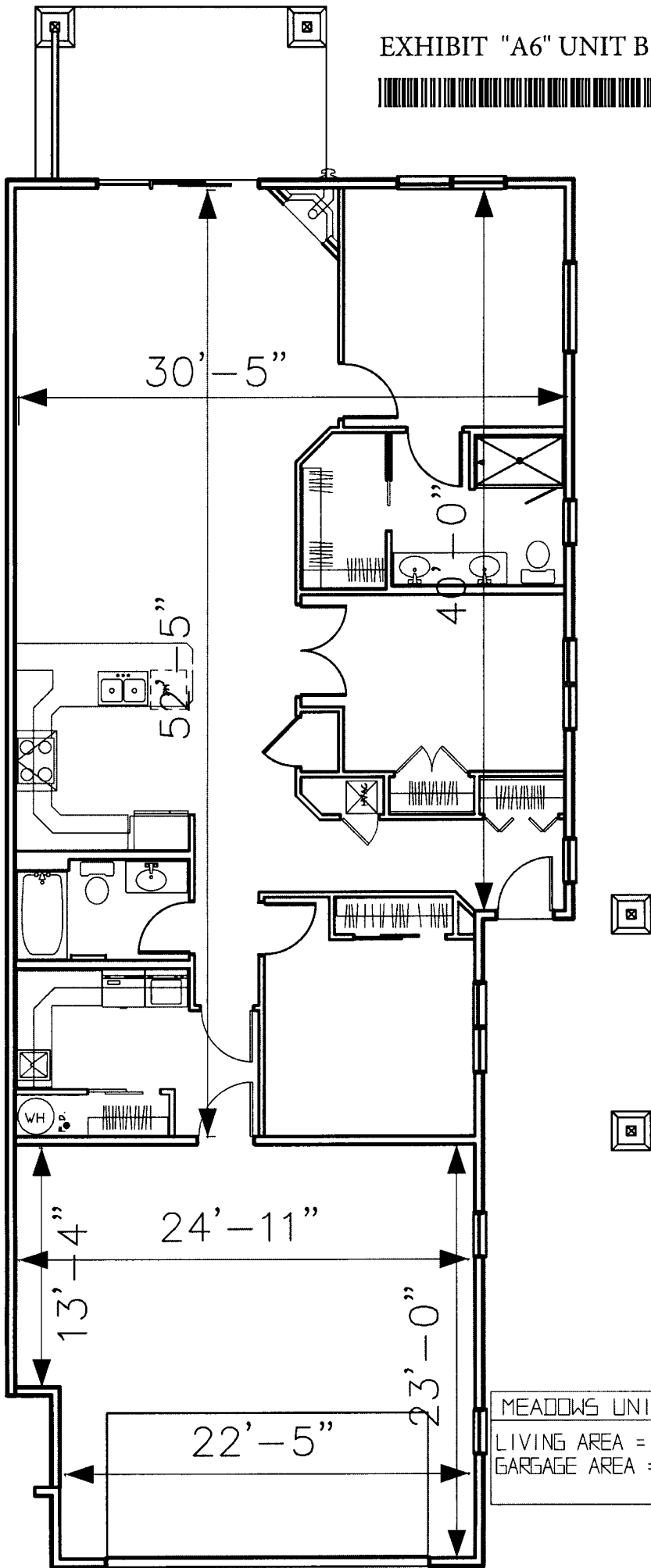
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MEADOWS UNIT A
LIVING AREA = 1,532 SF
GARAGE AREA = 549 SF

EXHIBIT "A6" UNIT B FLOOR PLAN

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MEADOWS UNIT B
LIVING AREA = 1,532 SF
GARAGE AREA = 549 SF

EXHIBIT "A7" BUILDING 7 SITE PLAN

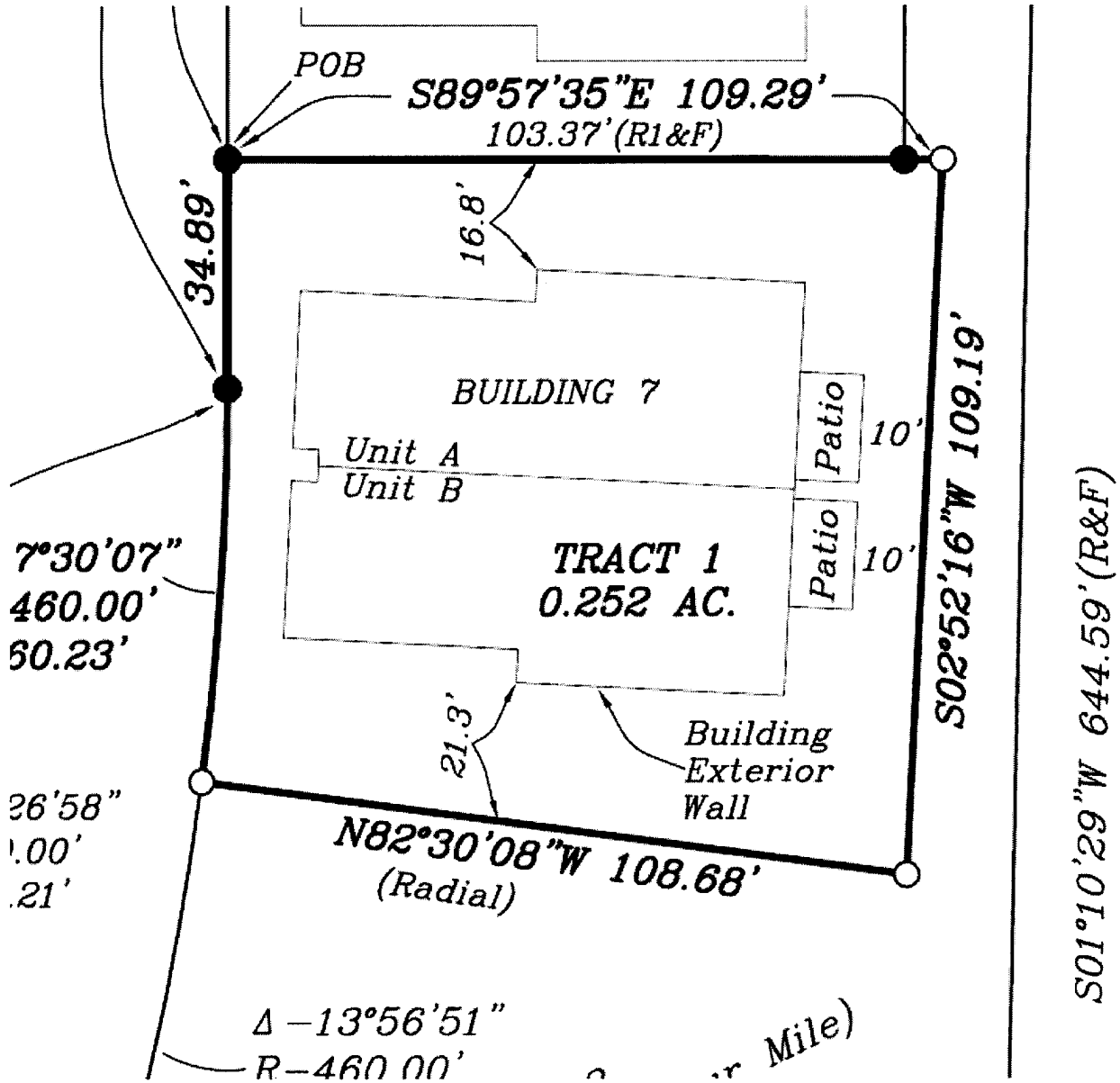
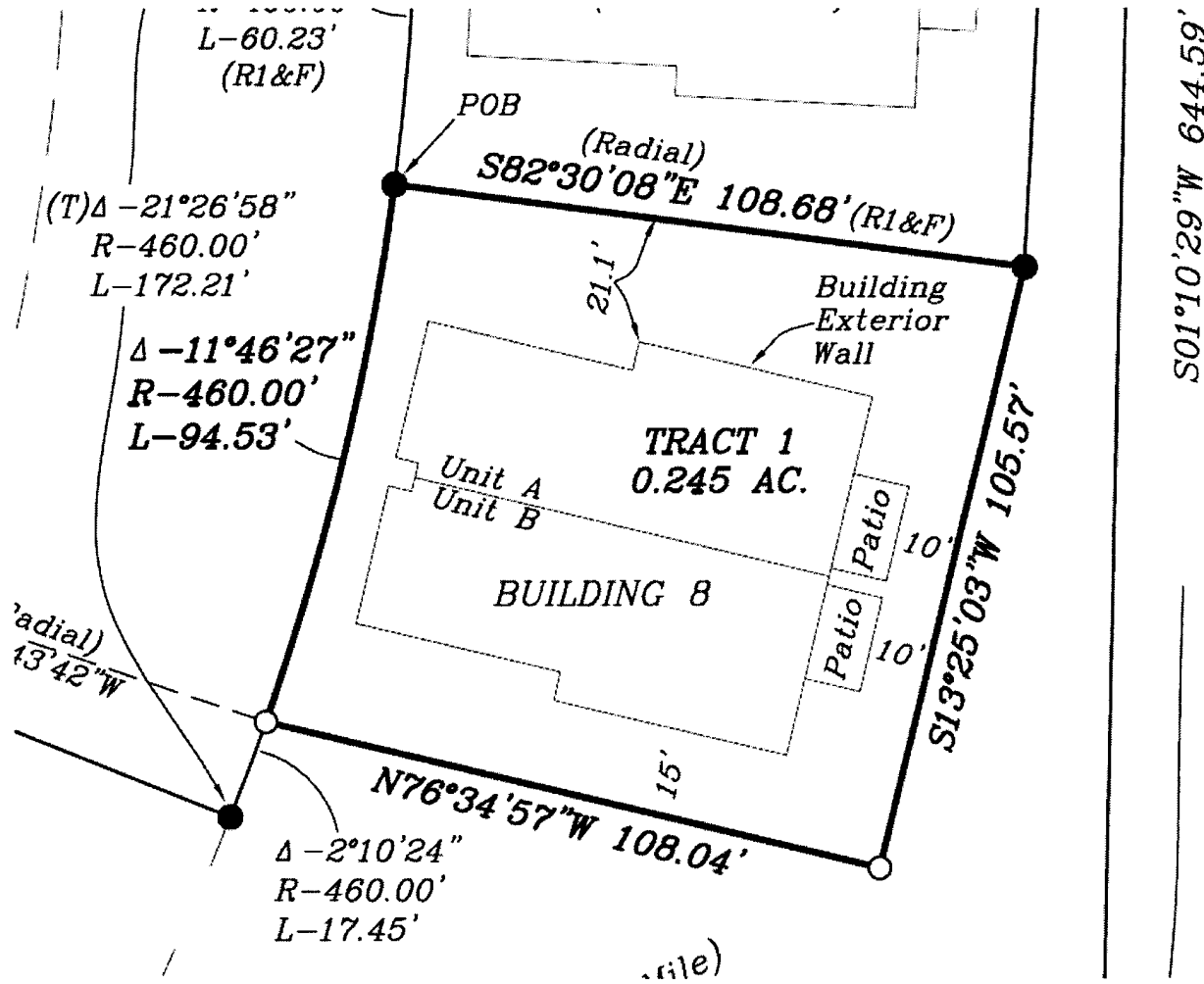


EXHIBIT "A8" BUILDING 8 SITE PLAN



APPROVAL/CONSENT OF MORTGAGEE OR LIENHOLDER TO
First Amendment to
Declaration of Condominium Under The Unit Ownership Act And
Covenants, Conditions and Restrictions for
The Meadows at Four Mile Condominium II

Dated this 16th day of August , 2017

Name of Mortgagee:

Glacier Bank

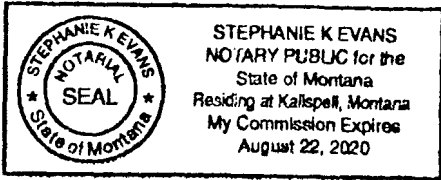
By William Astle

Its V.P.

State of Montana
County of Flathead

This Instrument was acknowledged before me on this 16 day of August, 2017 by
William Astle the V.P. of Glacier Bank as Mortgagee.

Stephanie K Evans
Notary Public





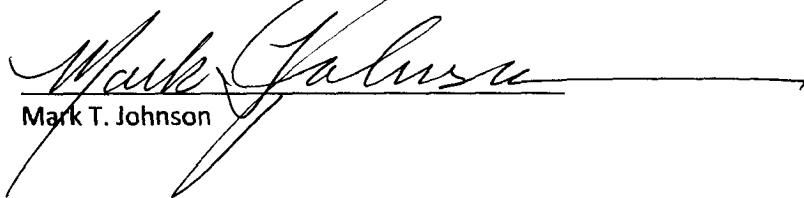
ARCHITECT'S CERTIFICATION

I, Mark T. Johnson of Kalispell, MT being a duly licensed registered professional Architect, hereby certify the following:

That I have reviewed the floor plans attached to the First Amendment to Declaration and that they are an accurate copy of the plans filed with and approved by any governmental officers having jurisdiction to issue building permits.


That the floor plans attached full and accurately depict the layout, location, Unit designation, and dimensions of each Unit of The Meadows at Four Mile Condominium II.

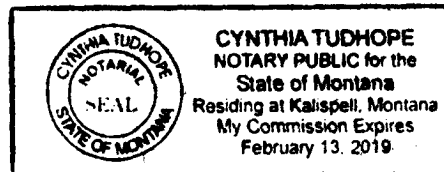
Dated this 16 day of AUGUST, 2017


Mark T. Johnson

State of Montana
County of Flathead

SUBSCRIBED AND SWORN before me this 16 day of August, 2017 by Mark T. Johnson.


Printed Name: Cynthia Tudhope
Notary Public for the State of Montana
Residing in: Kalispell
Commission expires: 02-13-2019





Planning Department
201 1st Avenue East
Kalispell, MT 59901
Phone: (406) 758-7940
Fax: (406) 758-7739
www.kalispell.com/planning

SUBDIVISION EXEMPTION REVIEW

DATE: 8/22/17

TO: Flathead County Plat Room
800 South Main Street
Kalispell, MT 59901

FROM: Kalispell Planning Department

The City of Kalispell Planning Department has reviewed the survey described below.

Surveyor:	<i>Sands Surveying</i>
Owner:	<i>Meadows West Properties LP</i>
Purpose:	<i>Condominium Survey for buildings 7 and 8</i>
Property Address (if applicable):	
Legal Description:	<i>COS in Govt Lot 2 Sec. 1, T28N, R22W, P.M.M. Flathead County, Montana</i>

The survey complies with applicable City of Kalispell zoning and subdivision regulations and is exempt from local subdivision review. This exemption does not constitute an approval under health, floodplain or other applicable regulations.

Sincerely,

City of Kalispell
Planning Department

AMENDMENT APPROVAL BY DEPARTMENT OF REVENUE

The Meadows at Four Mile Condo II amendment has been reviewed by an agent of the Department of Revenue for Flathead County, Montana and includes all of the information required for approval.

Dated this 10 day of Sept 2017

Signature [Handwritten Signature]

Printed Name [Handwritten Name]