

3-11-26

097 9319 097 9327  
097 9320 097 9323

# AMENDED SUBDIVISION PLAT OF BUFFALO HEAD TOWNHOUSES - UNIT # 11

**AN AMENDED PLAT OF LOT 11 BUFFALO HEAD ADDITION # 92  
A TOWNHOUSE SUBDIVISION, KALISPELL, MONTANA  
SECTION 6, T20N R27W, FLATHEAD CO., MT.**

### CERTIFICATE OF DEDICATION

I, ERNESTINE B. ANDERSON, THE UNDERSIGNED PROPERTY OWNER, DO HEREBY CERTIFY THAT I HAVE CAUSED TO BE SURVEYED, SUBDIVIDED AND PLATTED INTO LOTS AND COMMON AREAS, AS SHOWN BY THE ANNEXED PLAT AND CERTIFICATE OF SURVEY HERUNTO INCLUDED, THE FOLLOWING DESCRIBED TRACT OF LAND, TO-WIT:

LOT 11, BUFFALO HEAD ADDITION NO. 92, RECORDS OF FLATHEAD COUNTY, MONTANA CONTAINING 0.336 ACRE OF LAND ALL AS SHOWN HEREON.

THE ABOVE DESCRIBED TRACT OF LAND IS TO BE KNOWN AND DESIGNATED AS AMENDED SUBDIVISION PLAT OF BUFFALO HEAD TOWNHOUSES - UNIT NO. 11, FLATHEAD COUNTY, MONTANA; AND THE LANDS INCLUDED IN THE COMMON AREAS SHOWN ON THE PLAT ARE NOT DEDICATED FOR USE BY THE GENERAL PUBLIC BUT ARE DEDICATED TO THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS IN BUFFALO HEAD ADDITION NO. 92 AS MORE FULLY PROVIDED IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS APPLICABLE TO BUFFALO HEAD ADDITION NO. 92, DATED APRIL 16, 1979 AS AMENDED. SAID DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS IS HEREBY INCORPORATED AND MADE A PART OF THIS PLAT. THE CITY OF KALISPELL WILL NOT BE REQUIRED TO IMPROVE OR MAINTAIN ANY PRIVATE ROADS OR OTHER PRIVATE IMPROVEMENTS WITHIN THE SUBDIVISION. THE VALUE OF EACH LOT IS TO BE ENHANCED BY THE COMMON AREA WITH THE COMMON AREA NEVER TO BE TAKEN SEPARATELY. EASEMENTS FOR INSTALLATION AND MAINTENANCE OF UTILITIES AND ORNAMENT FACILITIES ARE RESERVED TO ALL ROADWAYS AND COMMON AREAS. OPERATION, MAINTENANCE AND REPAIR OF THE WATER AND SEWER MAINS SHOWN ON PLANS FOR S.I.D. NO. 328, PREPARED BY THOMAS, DEAN & HOSKINS INC, DATED MAY 1979, IS THE RESPONSIBILITY OF THE CITY OF KALISPELL. OPERATION, MAINTENANCE AND REPAIR OF ALL WATER AND SEWER LINES PROVIDING SERVICE TO EACH LOT IS THE RESPONSIBILITY OF THE BUFFALO HEAD HOMEOWNERS ASSOCIATION. THESE WATER AND SEWER LINES ARE ACKNOWLEDGED TO BE PRIVATE IN ALL RESPECTS. I HEREBY CERTIFY THAT THE PURPOSE OF THIS SURVEY IS TO RELOCATE COMMON BOUNDARIES BETWEEN EXISTING LOTS WITHIN A PLATTED SUBDIVISION, THAT FEWER THAN SIX LOTS ARE AFFECTED, AND THAT NO ADDITIONAL LOTS ARE HEREBY CREATED. THEREFORE, THIS SURVEY IS EXEMPT FROM REVIEW AS A SUBDIVISION PURSUANT TO SECTION 76-3-207(1)(c), MCA. I ALSO HEREBY CERTIFY THAT THE PURPOSE OF THIS DIVISION IS TO CORRECT ERRORS IN CONSTRUCTION WHERE BUILDINGS OR SHEDS MAY ENCROUGH ON NEIGHBORING PROPERTY. THEREFORE, THIS DIVISION IS EXEMPT FROM REVIEW BY THE DEPARTMENT OF HEALTH AND ENVIRONMENTAL SCIENCES PURSUANT TO ARM 16.16.605(2)(e).

ERNESTINE B. ANDERSON

STATE OF MONTANA  
COUNTY OF FLATHEAD

ON THIS 23 DAY OF October, 1992, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC FOR THE STATE AFORESAID, PERSONALLY APPEARED ERNESTINE B. ANDERSON, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME.

IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND AFFIXED MY NOTARIAL SEAL THE DAY AND YEAR FIRST ABOVE WRITTEN.

APPROVED: October 23, 1992  
Jan H Bond  
EXAMINING LAND SURVEYOR  
REGISTRATION NO. 2463 S

NOTARY PUBLIC FOR THE STATE OF MONTANA  
RESIDING AT KALISPELL, MONTANA  
MY COMMISSION EXPIRES 09/01/99  
STATE OF MONTANA

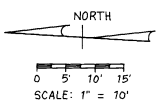
CERTIFICATE OF SURVEYOR  
Dawn Marquardt  
DAWN MARQUARDT  
REGISTRATION NO. 7328 S

STATE OF MONTANA  
COUNTY OF FLATHEAD  
FILED ON THE 23 DAY OF Oct, 1992, A.D., AT 10:21 O'CLOCK A.M.  
Austen W. Honeyfield  
COUNTY CLERK AND RECORDS  
BY Kathleen Esteban DEPUTY

INSTRUMENT REC. NO. 9229110210

**AREAS:**  
TOTAL AREA 0.336 ACRE  
COMMON AREA 0.129 ACRE

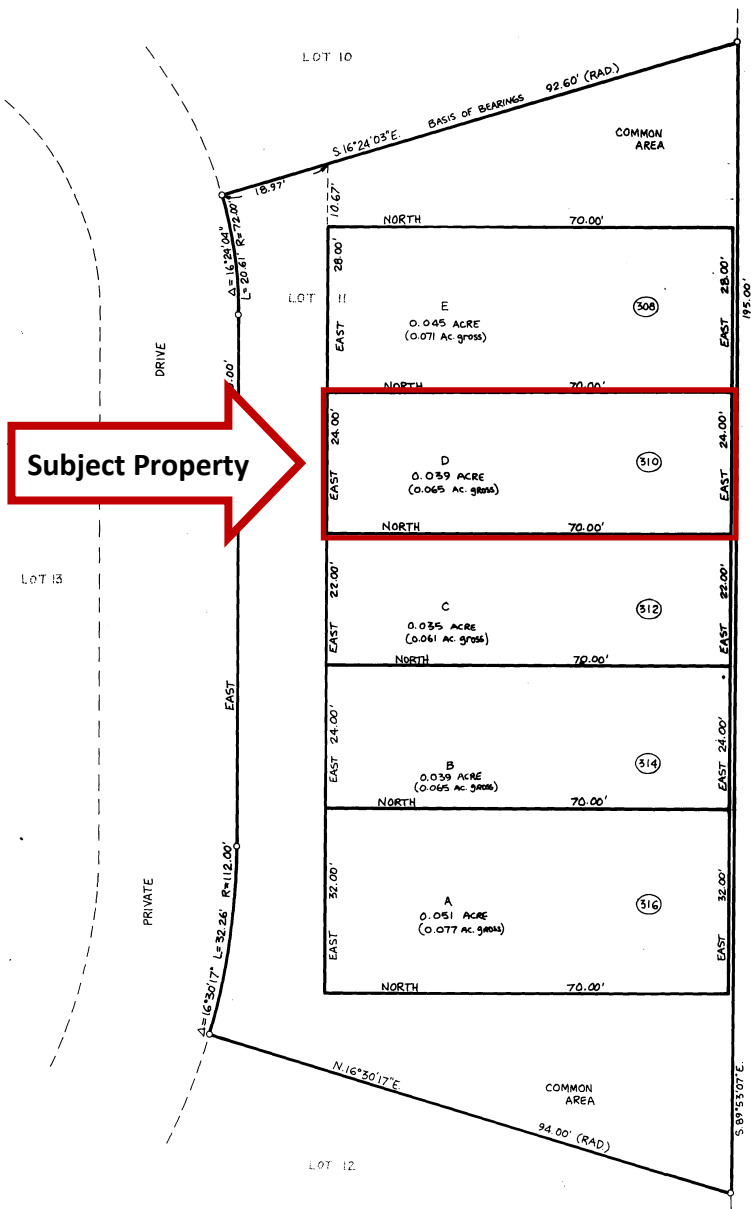
GROSS ACREAGE SHOWN ON EACH LOT INCLUDES 1/5 OF THE COMMON AREA



### LEGEND

- (S18) DENOTES STREET ADDRESS (S18 PONDEROSA STREET)
- FOUND 5/8" REBAR 2000PSI'S BUFFALO HEAD ADD.

**MARQUARDT & McALISTER  
SURVEYING, INC.**  
1081 South Main (406) 755-6285  
KALISPELL, MONTANA 59901



Amended - Buffalo Head