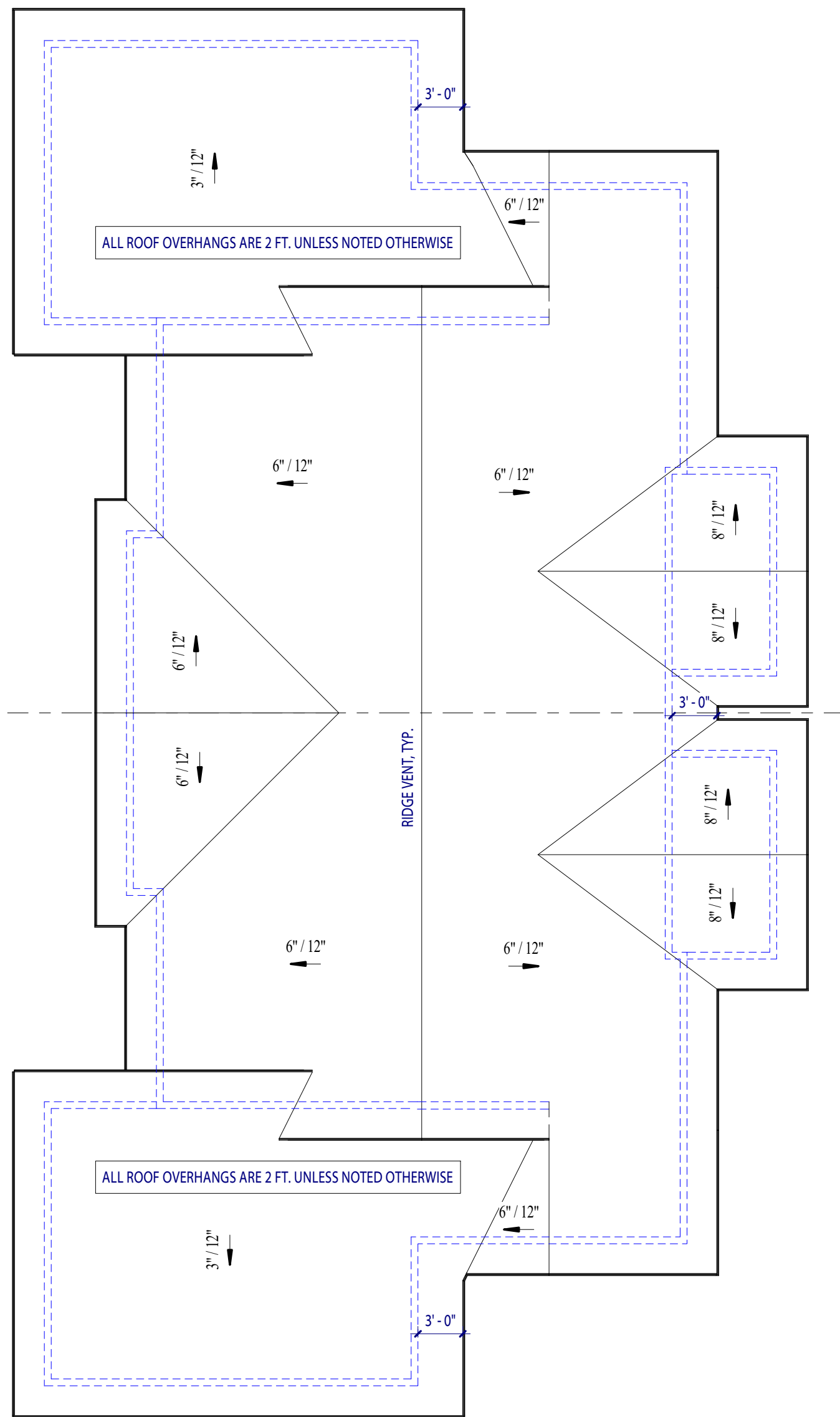
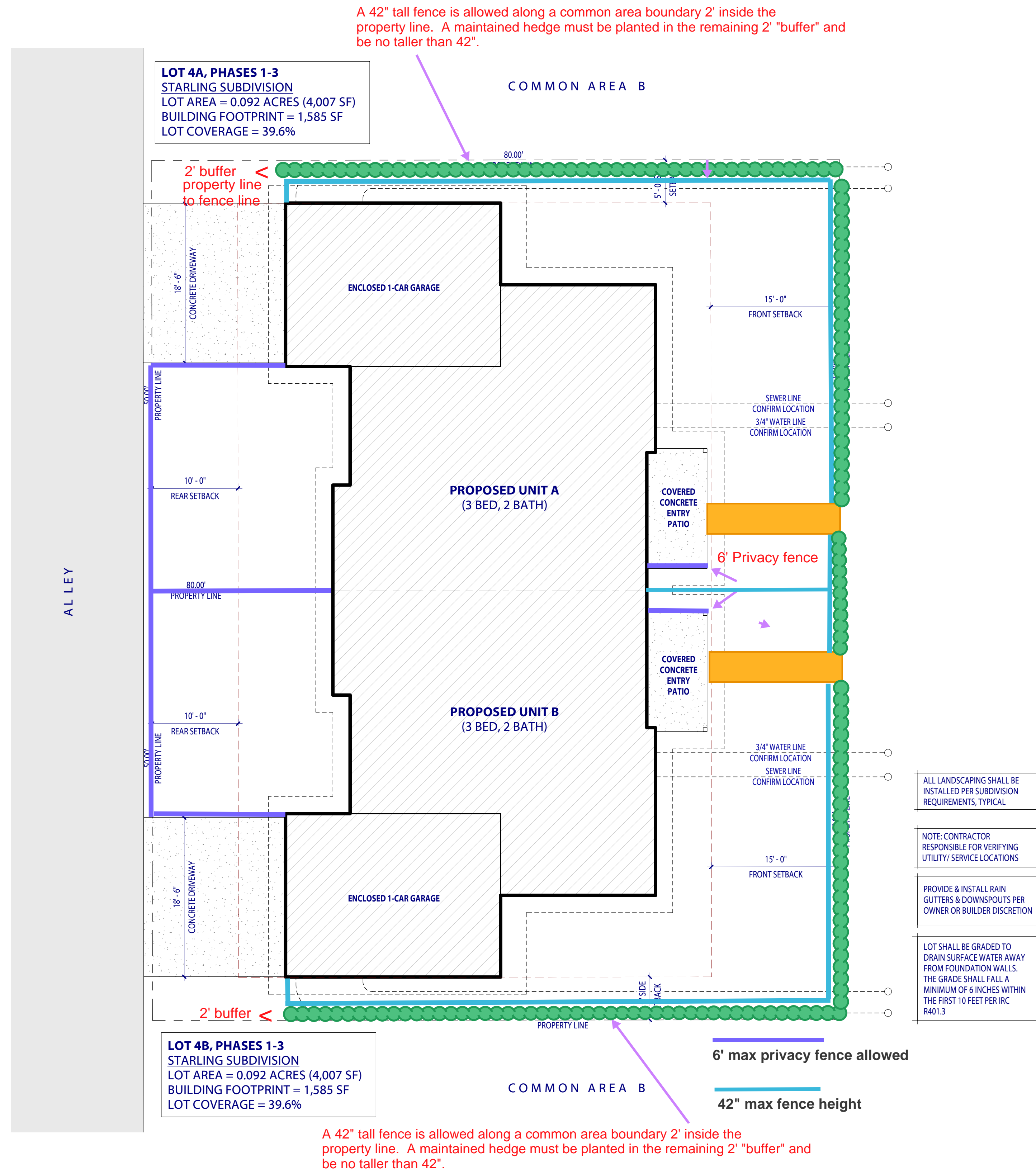


STARLING DUPLEX

KALISPELL, MT



2 ROOF PLAN
1/8" = 1'-0"



1 SITE PLAN
1/8" = 1'-0"

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB SITE CONDITIONS BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 - GENERAL CONTRACTOR TO COORDINATE ARCHITECTURAL DRAWINGS WITH MECHANICAL, ELECTRICAL, AND PLUMBING.
- APPLICABLE CODES:**
 2021 INTERNATIONAL RESIDENTIAL CODE
 2021 UNIFORM PLUMBING CODE
 2021 INTERNATIONAL MECHANICAL CODE
 2020 NATIONAL ELECTRIC CODE
 2021 INTERNATIONAL FUEL GAS CODE
 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- DESIGN CRITERIA**
 SEISMIC ZONE D0
 115 MPH WIND

PROJECT INFORMATION

ZONING: RA-1/PUD
OCCUPANCY: R-3
TYPE OF CONSTRUCTION: TYPE VB (NON-RATED)
FIRE SPRINKLERS REQUIRED: NO
OCCUPANT LOAD: 14 (WHOLE DUPLEX)
 (BASED ON IBC TABLE 1004.5: RESIDENTIAL = 200 GROSS)

BUILDER INFORMATION

NAME: KILDAY & STRATTON
ADDRESS: 2880 TECHNOLOGY BLVD. W. - SUITE 271 BOZEMAN, MT 59718
PHONE: (406) 577-2028
EMAIL: GREG@KILDAYSTRATTON.COM

DESIGNER INFORMATION

NAME: BLACK MOUNTAIN ARCHITECTURE; TREVOR PIERSON
ADDRESS: 214 E. MENDENHALL, SUITE 102 BOZEMAN, MT 59715
PHONE: (406) 552-4490
EMAIL: SYDNEY@BLACKMOUNTAINARCH.COM

SHEET INDEX

ARCHITECTURAL	
A1.1	SITE PLAN
A2.1	1ST FLOOR PLAN
A2.2	FOUNDATION PLAN
A2.3	ROOF FRAMING PLAN
A2.4	BRACED WALL DESIGN
A3.1	3D VIEWS
A3.2	EXTERIOR ELEVATIONS
A4.1	BRACED PANEL DETAILS
A5.1	WALL SECTIONS
E1.1	ELECTRICAL PLAN

FLOOR AREAS - EA. UNIT

EA. UNIT - 3 BED; 2 BATH	
1ST FLOOR:	1,115 SF GROSS
GARAGE:	463 SF GROSS

KILDAY & STRATTON

610 & 608 STILLWATER RD.
 LOTS 4A & 4B, PHASES 1-3, STARLING SUBDIVISION
 KALISPELL, MT - FLATHEAD COUNTY

BLACK MOUNTAIN ARCHITECTURE
 ARCHITECTURE
 (406) 579-4630 www.blackmountainarch.com

23025

CONSTRUCTION DOCUMENTS

SITE PLAN

A1.1

OCTOBER 4, 2023